



WORKING DRAWINGS

6 DAPHNE STREET, KURRALTA PARK

CLIENT: KATE HYATT	ISSUE: D.	DRAWN BY: RV	DRAWING No: 1 of 14	ISSUE A-C D	AMENDMENT PLANNING DRAWINGS WORKING DRAWINGS	DATE 2018 16.04.18	ISSUE	AMENDMENT	DATE	THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT W R I T T E N C O N S E N T
PROJECT: PROPOSED DEVELOPMENT			JOB NUMBER: 014-01-18/WD01							C O P Y R I G H T ©

GENERAL NOTES:

365 STUDIO PTY LTD. HEREBY TAKES NO RESPONSIBILITY FOR ANY STRUCTURAL DESIGN OR DETAILS IF CHANGES OR ALTERNATIONS ARE MADE TO THE PLANS DURING OR PRIOR TO CONSTRUCTION WITHOUT WRITTEN NOTICE AND APPROVAL.

BUILDER/CONSTRUCTOR IS RESPONSIBLE TO CHECK AND CONFIRM AL DRAWINGS AND DETAILS PRIOR TO ORDERING ANY MATERIALS AND OR QUOTING OF PROJECT AND OR COMMENCEMENT OF ANY CONSTRCTUION. 365 STUDIO DO NOT ACCEPT ANY RESPONSIBILITY FOR ERRORS AND OR OMISSIONS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS PRIOR TO ANY WORK ON SITE IS CONDUCTED

DO NOT SCALE OFF THE PLANS. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS

TERMITE TREATMENT NOTE:

TERMITE PROTECTION SHALL COMPLY WITH AS3660.1-2014, PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1-2014 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.

EXTENSION/ADDITION:
BUILDER TO PROVIDE DETAILS ON CURRENT TERMITE PROTECTION OF EXISTING DWELLING. IF NO TERMITE PROTECTION IS RECORDED THEN BUILDER TO ARRANGE INSPECTION/TREATMENT PRIOR AND DURING CONSTRUCTION.

BOUNDARY/SURVEY/SETOUT:

ARCHITECTURALS BY 365 STUDIO IS INDICATIVE FOR BUILDING SETOUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE ENGINEERS AND SURVEYORSDRAWINGS/DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED

RAINWATER NOTE:

1000LTS (MIN) RWT COLLECTING 50m² ROOF CATCHMENT AREA, PLUMBED TO EITHER TOILET, HOT WATER SYSTEM OR ALL LAUNDRY COLD WATER OUTLETS, RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MOSQUITI-PROOF SCREENS. MUST COMPLY WITH BCA REQUIREMENTS

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3M OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES THAT ARE WITHIN 3M OF THE PROPOSED WORKS/DWELLING ARE TO BE REMOVED BY THE OWNER & REPLACED WITH A NON-COMBUSTIBLE MATERIAL THAT MUST COMPLY WITH BCA REQUIREMENTS

STORM-WATER NOTE:

REFER TO ENGINEERS CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS AND STORMWATER DRAINAGE PLAN

WET AREA NOTE:

WET AREA CONSTRUCTION, WATERPROOFING AND TILING SHALL COMPLY WITH MINISTERS SPECIFICATION, AS3740, ART 3.8.1 AND SA 3 OF VOL. 2

ENERGY SPECIFICATION:

REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS

EXHAUST FANS SERVING A CONITIONED SPACE OR A HABITABLE ROOM BE FITTED WITH SELF CLOSING DEVICE SUCH AS SELF CLOSING DAMPER.

REMOVABLE HINGE NOTE:

WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC. TO BE COMPLIANT WITH BCA - PART 2.43 & 3.8.3

HOT WATER SERVICE:

RINNAI B26 HOT WATER SYSTEMS TO BE INSTALLED OR HAVE AN EFFICIENCY RATING ENERGY RATING LABEL OF AT LEAST 5 STARS COMPLYING WITH AS4552 AND BCA P2.6.2 (b) - ALSO REFER ENERGY EFFICIENCY REPORT FOR FURTHER DETAILS/REQUIREMENTS. LOCATION TO BE CONFIRMED ON SITE IF NOT NOTED ON THE SITE PLAN.

TIMBER FRAMING:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684.2-2010 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION).

ALL EXPOSED TIMBER MEMBERS AND FIXINGS ARE TO BE ADEQUATELY TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AS 1604

ROOF NOTE:

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

ALL SANITARY, PLUMBING, DRAINAGE & ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.

ELECTRICAL NOTE:

ALL ELECTRICAL WORK CARRIED OUT, TO BE IN ACCORDANCE WITH AS 3000.

WINDOW AND DOOR NOTE:

ALL GLAZING TO COMPLY WITH AS 1288-2006
ALL GLAZING IS TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288.1

ALL CARE HAS BEEN TAKEN, HOWEVER IT IS THE BUILDERS RESPONSIBILITY TO CHECK AND VERIFY ALL WINDOWS AND DOORS DIMENSIONS PRIOR TO CONSTRUCTION AND ORDERS AS NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY ERRORS OR OMISSIONS.

FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.

A/C UNIT & PLUMBING STACK NOTE:

BUILDER TO CONFIRM LOCATIONS OF ALL A/C DUCT VOIDS AND PLUMBING STACKS PRIOR TO ANY CONSTRUCTION COMMENCING.

BUILDING METHODS:

LOWER: HEBEL POWER PANEL
UPPER: RENDA POWER PANEL/HEBEL WHERE ON BOUNDARY
MID-FLOOR: STRUCTAFLOOR
FEATURE MATERIALS: SCYON OR SIMILAR
PARTY-WALL: HEBEL PARTIWALL

BRICK VENEER:
110mm THICK EXPOSED BRICK WORK, 40mm CAVITY AND 90mm TIMBER STUD WALL. REFER TO ELEVATIONS IF RENDER IS REQUIRED.

HEBEL POWER PANEL VENEER:
75mm THICK HEBEL POWER PANEL, 25mm CAVITY AND 90mm TIMBER STUD, WITH EXTERNAL RENDER FINISH.

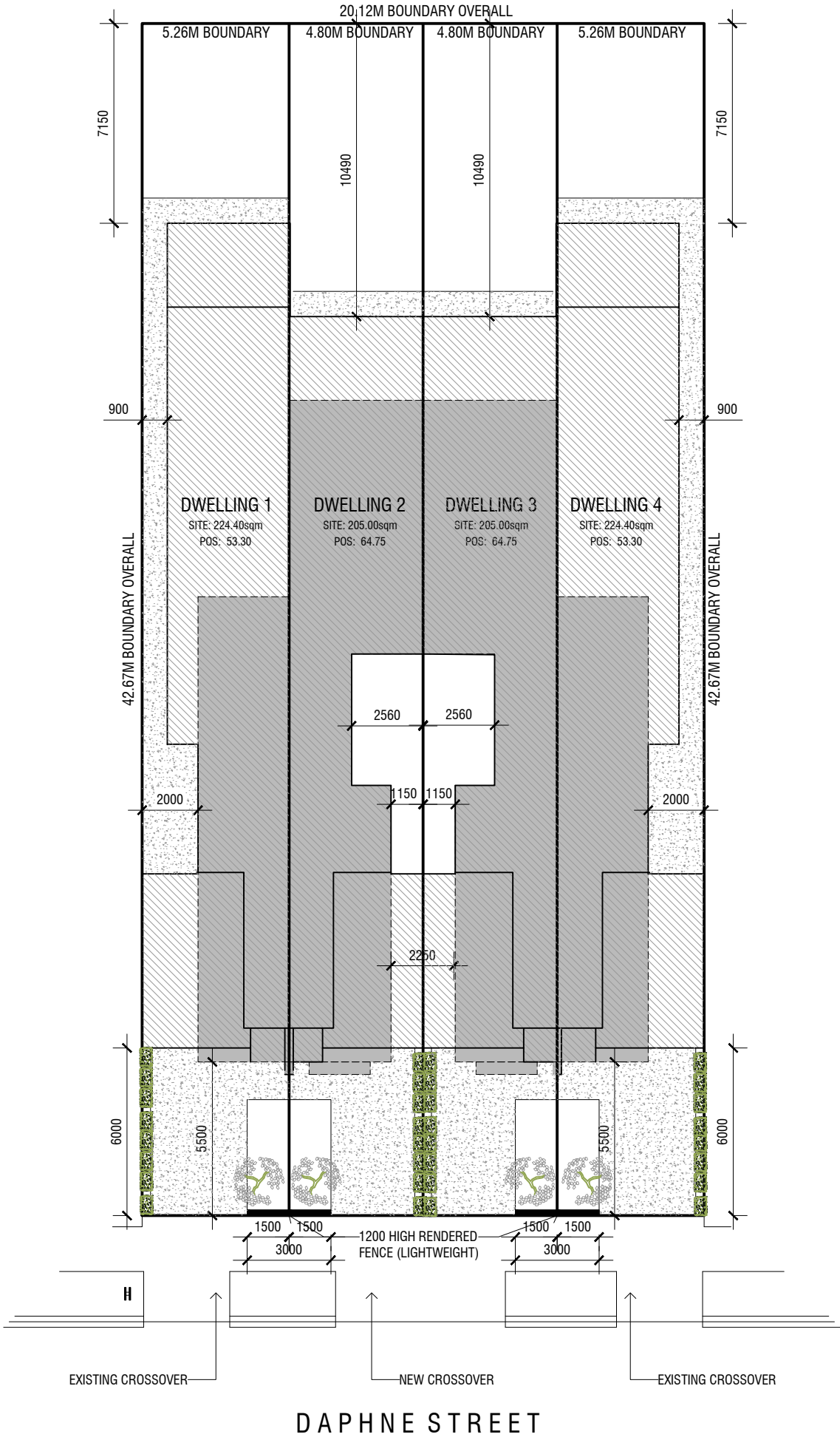
PARTY-WALL:
REFER TO DETAIL FOR CONSTRUCTION METHOD

FOR FEATURE MATERIALS REFER TO MANUFACTURERS SPECIFICATION IF NOT STATED ABOVE.

ALL INTERNAL WALLS TO BE LINED WITH 10mm PLASTERBOARD WALL LINING. VILLABOARDS TO ALL WET AREAS

ALL INTERNAL DOORS TO BE 2400mm HIGH

IF A SCHEDULE OF MATERIALS IS PROVIDED/PREPARED ENSURE THAT THIS TAKES PRECEDENCE OVER DRAWINGS.



BOUNDARY/SURVEY/SETOUT:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

ARCHITECTURALS BY 365 STUDIO IS
INDICATIVE FOR BUILDING SETOUT
PURPOSE ONLY. PRIOR TO ANY
CONSTRUCTION REFER TO SURVEYOR
DRAWINGS AND ENGINEERING CIVIL PLAN
FOR SITE LEVELS, CONTOURS, BENCH
MARKS, SERVICE LOCATIONS. BUILDER
TO ORGANISE A CERTIFIED SURVEY PRIOR
TO ANY CONSTRUCTION IS COMMENCED.
BUILDER TO CHECK AND CONFIRM ALL
SITE AND SET OUT DIMENSIONS PRIOR TO
COMMENCEMENT OF CONSTRUCTION.
PLANS TO BE READ IN CONJUNCTION
WITH THE ENGINEERS AND
SURVEYORS DRAWINGS/DETAILS. BUILDER
TO CONFIRM ENGINEER DRAWINGS ARE
UPDATED

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES
WITHIN 3M OF THE PROPOSED BUILDING
WORKS. ANY BRUSH FENCES THAT ARE
WITHIN 3M OF THE PROPOSED
WORKS/DWELLING ARE TO BE REMOVED
BY THE OWNER & REPLACED WITH A
NON-COMBUSTIBLE MATERIAL THAT
MUST COMPLY WITH BCA REQUIREMENTS

STORM-WATER NOTE:

REFER TO ENGINEERS CIVIL PLAN FOR ALL
LEVELS, RETAINING WALLS AND
STORMWATER DRAINAGE PLAN

RAINWATER NOTE:

1000LTS (MIN) RWT COLLECTING 50m²
ROOF CATCHMENT AREA, PLUMBED TO
EITHER TOILET, HOT WATER SYSTEM OR
ALL LAUNDRY COLD WATER OUTLETS,
RWT MUST BE FITTED WITH OVERFLOW
DEVICE. INLET & OVERFLOW MUST BE
FITTED WITH MOSQUITI-PROOF SCREENS.
MUST COMPLY WITH BCA REQUIREMENTS

WORKING DRAWINGS

ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

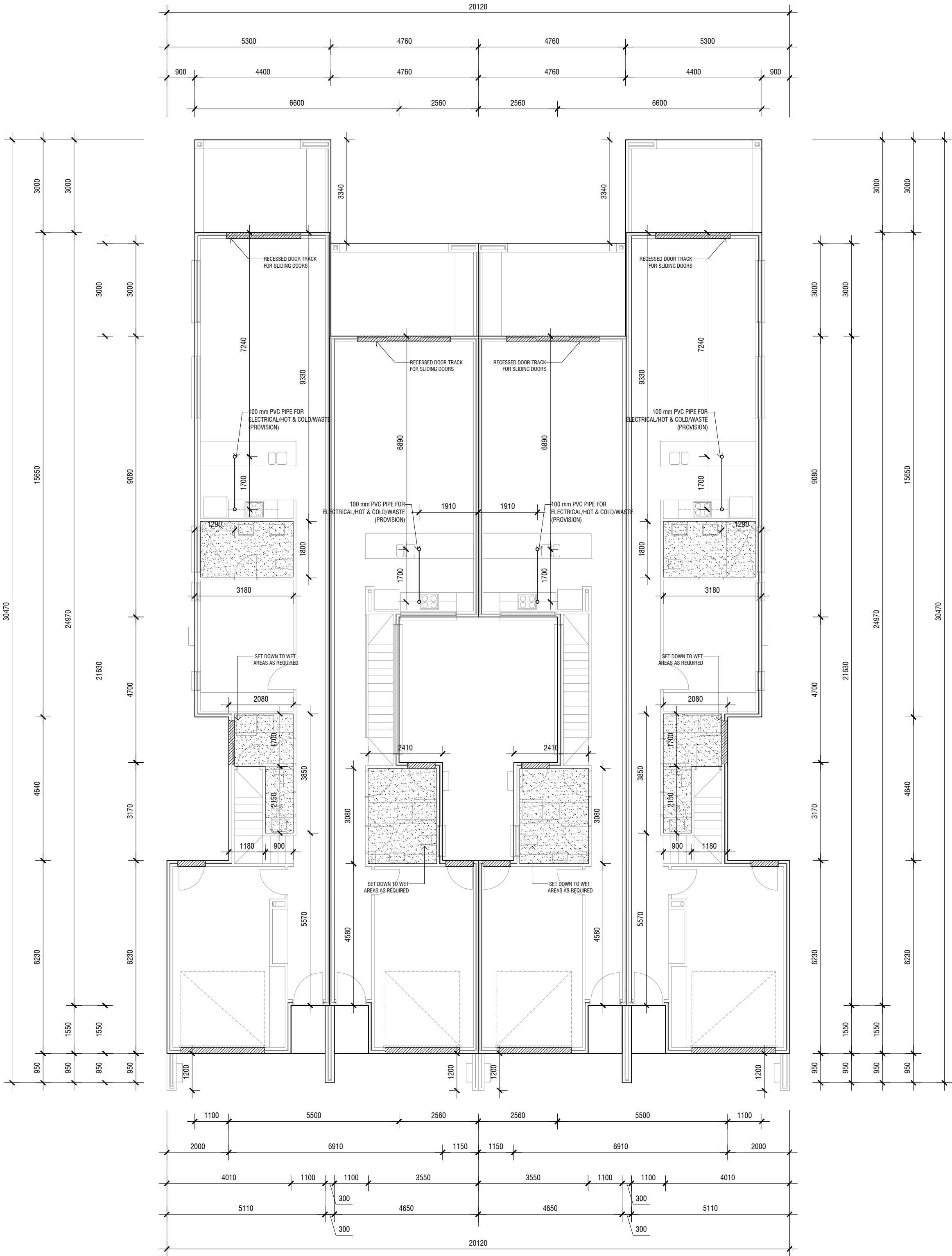
ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED
BEFORE ANY CONSTRUCTION COMMENCES. ANY
DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO
PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE: 1:200 @ A3	DRAWN BY: RV	DRAWING No: 02 of 14
ISSUE: D.	JOB NUMBER: 014-01-18/WD02	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY
OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE
DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
COPYRIGHT ©



FOOTING & SLAB NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

THE CONTRACTOR SHALL VERIFY ALL DIMENSION AND LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK OR SHOP DRAWINGS

THE CONTRACTOR SHALL NOT MAKE ALTERNATION OR CHANGES TO PLANS DURING OR PRIOR TO CONSTRUCTION WITHOUT WRITTEN NOTICE

CONCRETE FOOTINGS AND SLAB SHOULD BE READ IN CONJUNCTION WITH/ & IN ACCORDANCE WITH THE ENGINEER'S REPORT.

ALL CONCRETE SHALL BE HANDLED, PLACED AND COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3600-2001.

ALL REINFORCING SHALL COMPLY WITH AS 3600 PART 1 - 2000.

TERMITE PROTECTION SHALL COMPLY WITH AS 3600 PART 1 - 2014.

SLAB EDGE REBATE DEPTH 50MM, WIDTH 110MM

SETDOWN NOTES:

50mm SET DOWNS TO THE GARAGE, PORCH AND WET AREAS. ALL FLOOR LEVEL INDICATED ARE TO BE CONFIRM BY THE BUILDER. REFER TO ENGINEERING DOCUMENTATION FOR DETAILS.

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS

ThreeSixFive

DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE:
1:100 @ A2

DRAWN BY:
RV

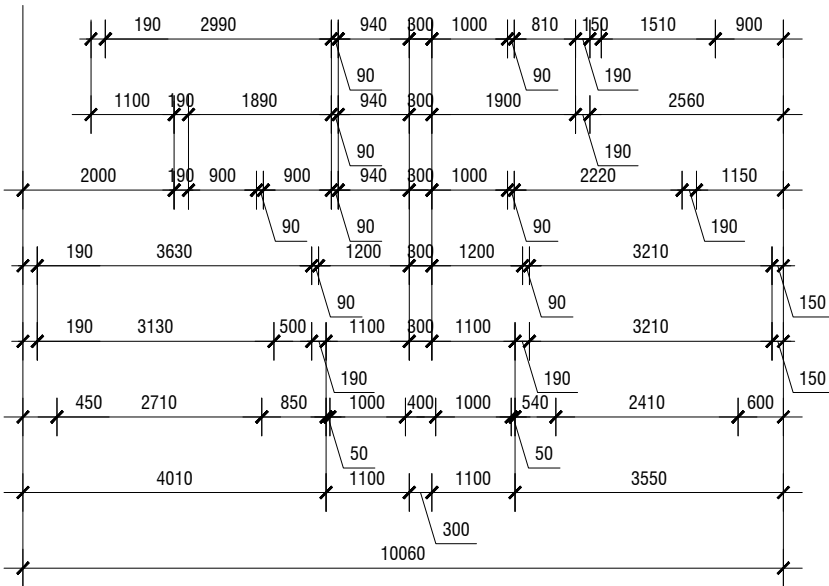
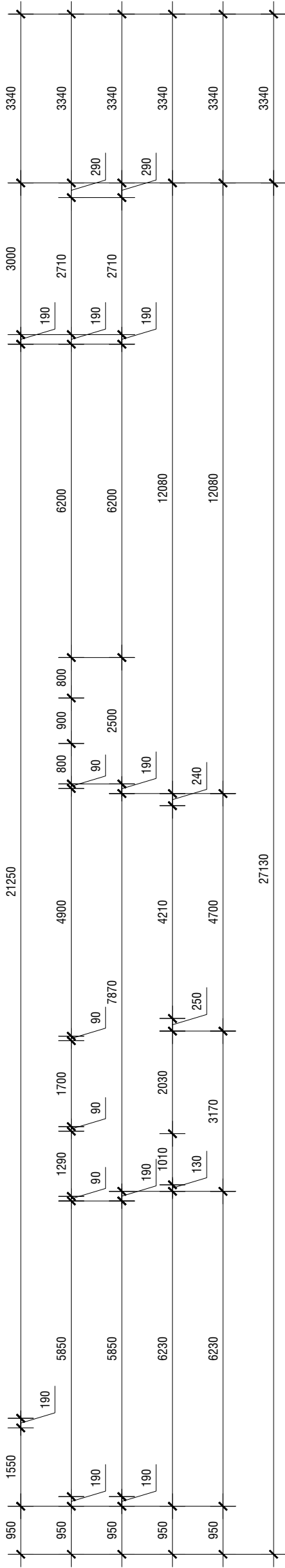
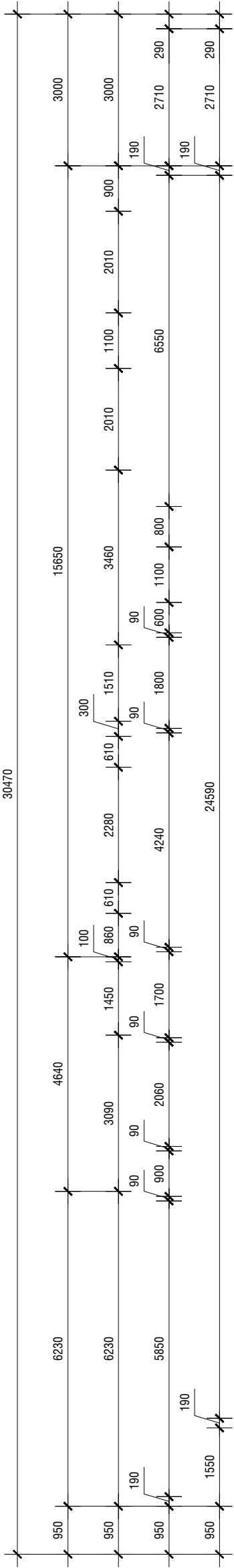
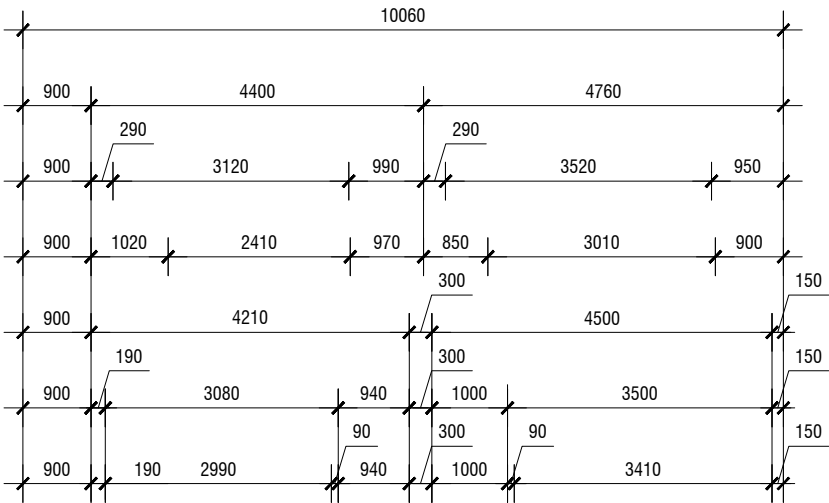
DRAWING No:
03 of 14

ISSUE:
D.

JOB NUMBER:
010-03-16/WD02

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©



FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

○ HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INSTALLED AND INTERCONNECTED IN ACCORDANCE WITH AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE OR VENTILATED ROOF SPACE INSTALLED ACCORDANCE WITH AS 1668.2

WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC

=== 190mm HEBEL PANEL VENEER SYSTEM

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS
ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T + 618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

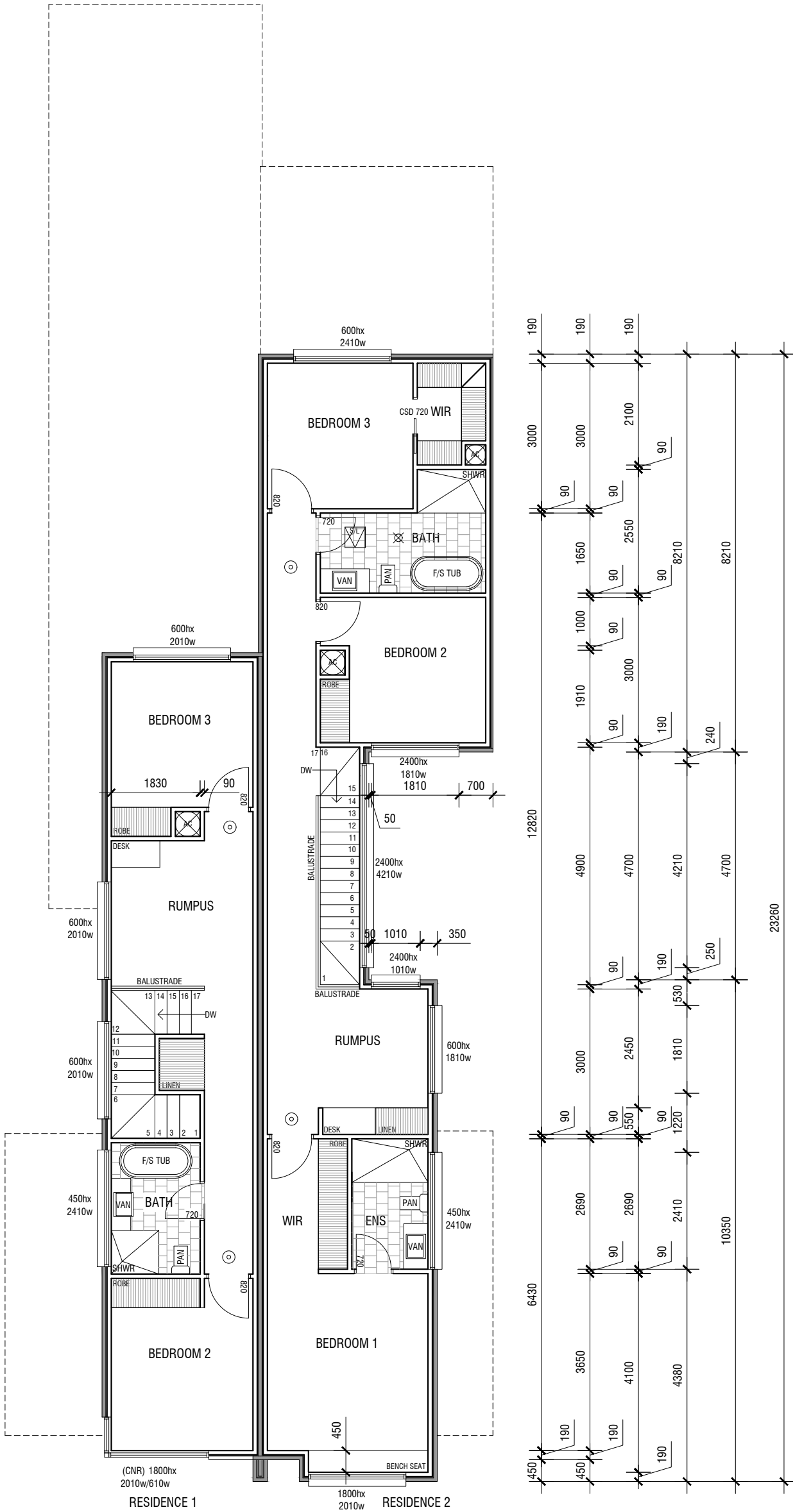
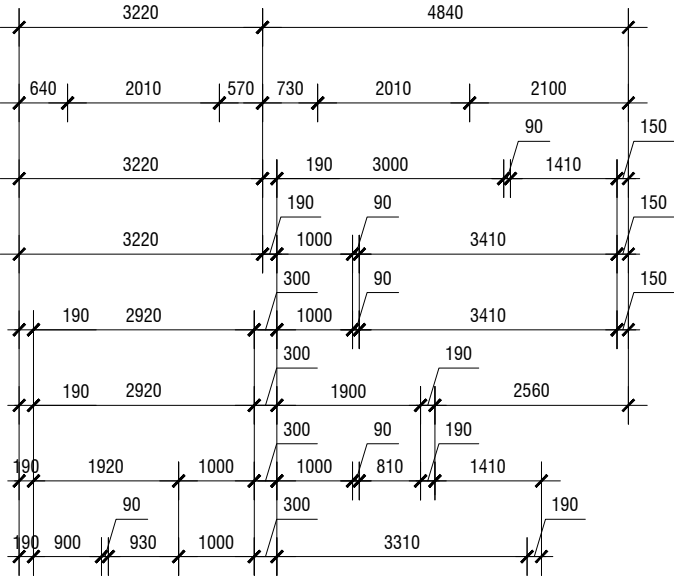
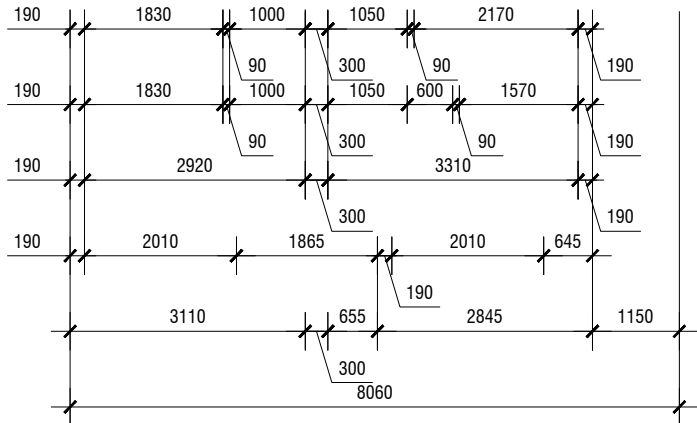
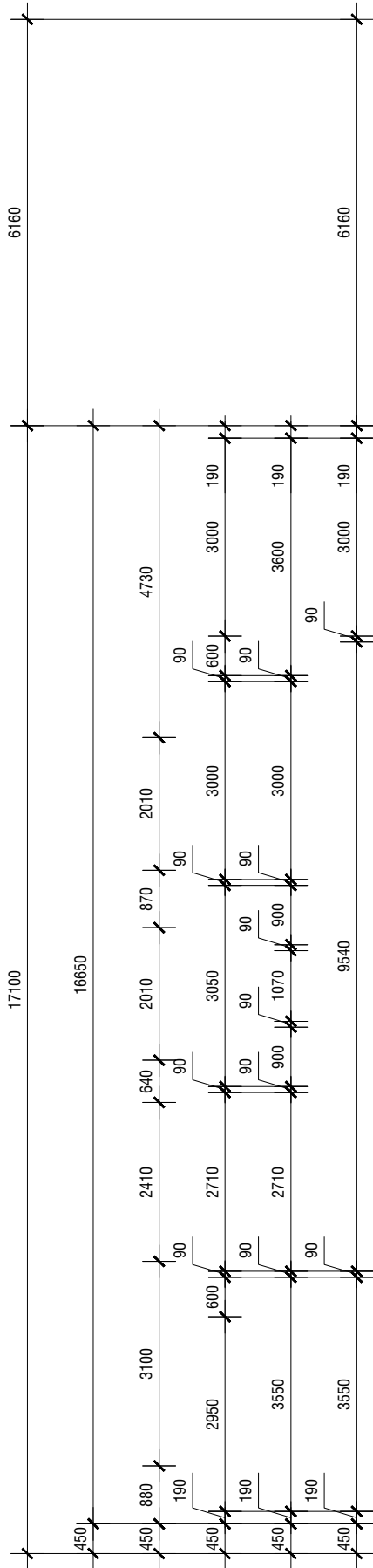
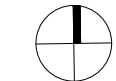
DO NOT SCALE FROM THIS DRAWING

SCALE: 1:100 @ A2	DRAWN BY: RV	DRAWING No: 04 of 14
----------------------	-----------------	-------------------------

ISSUE: D.	JOB NUMBER: 010-03-16/WD04
--------------	-------------------------------

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
COPYRIGHT ©





FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

⊙ HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INSTALLED AND INTERCONNECTED IN ACCORDANCE WITH AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE OR VENTILATED ROOF SPACE INSTALLED ACCORDANCE WITH AS 1668.2

WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC

=== 190mm HEBEL PANEL VENEER SYSTEM

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS
ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

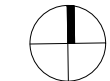
ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

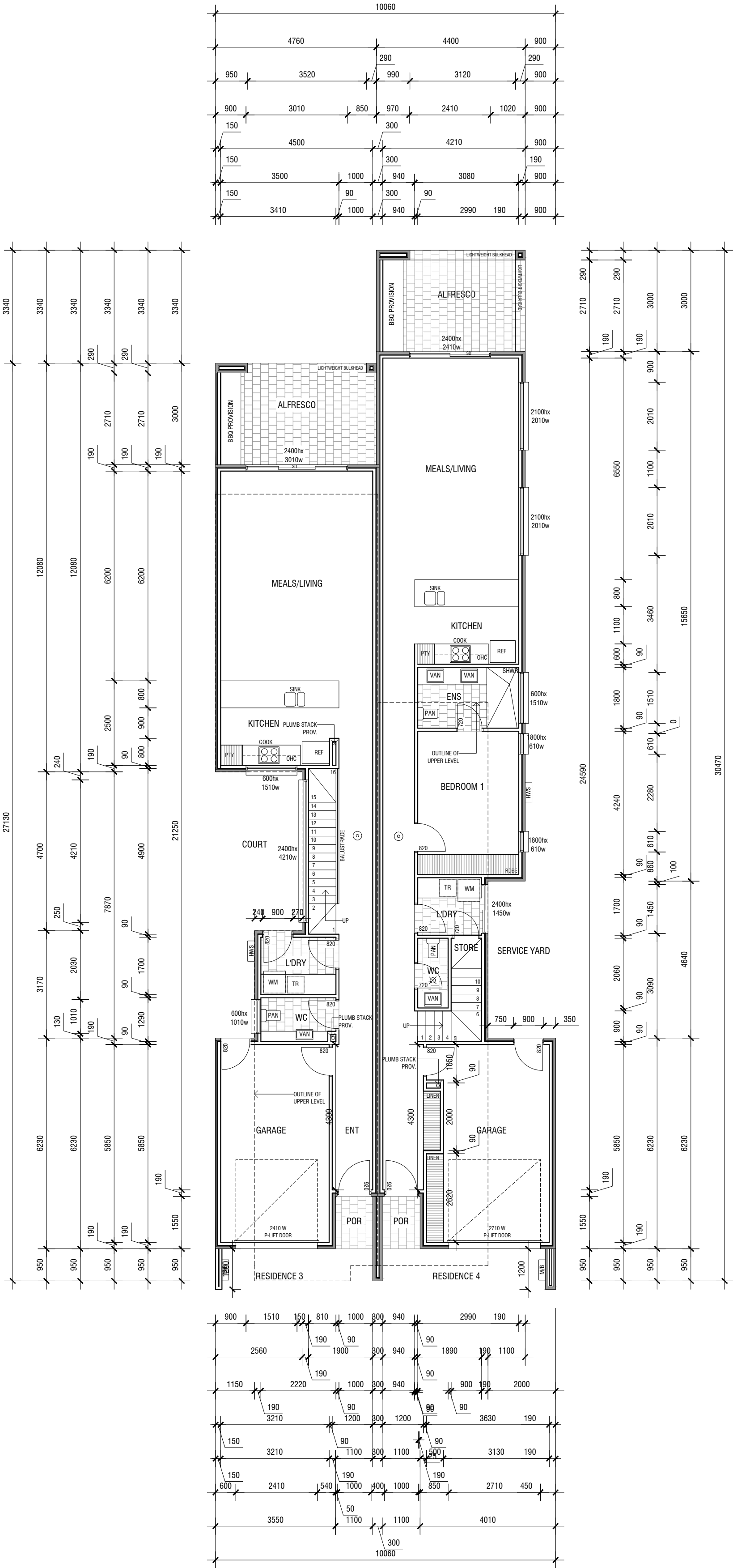
DO NOT SCALE FROM THIS DRAWING

SCALE:	DRAWN BY:	DRAWING No:
1:100 @ A2	RV	05 of 14
ISSUE:	JOB NUMBER:	
D.	010-03-16/WD05	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
COPYRIGHT ©



GROUND FLOOR PLAN RES 3 & 4 SCALE 1:100



FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

○ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

▬▬▬ 190mm HEBEL PANEL VENEER SYSTEM

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS

ThreeSixFive

DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T + 618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

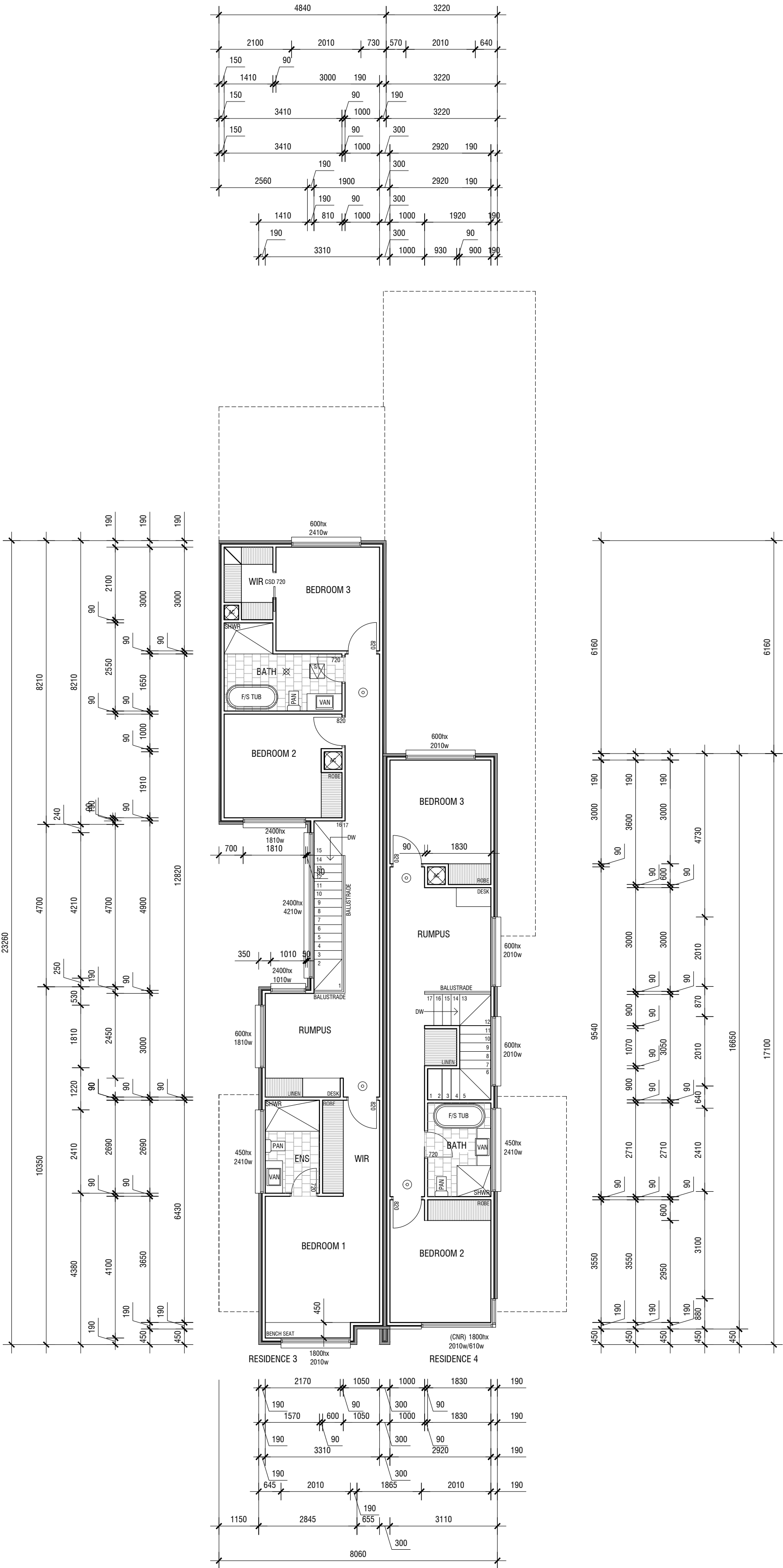
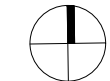
ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED
BEFORE ANY CONSTRUCTION COMMENCES. ANY
DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO
PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE: 1:100 @ A2	DRAWN BY: RV	DRAWING No: 06 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD06	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY
OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE
DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©



FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

○ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993

⊗ EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

▬▬▬ 190mm HEBEL PANEL VENEER SYSTEM

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS

ThreeSixFive

DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED
BEFORE ANY CONSTRUCTION COMMENCES. ANY
DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO
PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE:
1:100 @ A2

DRAWN BY:
RV

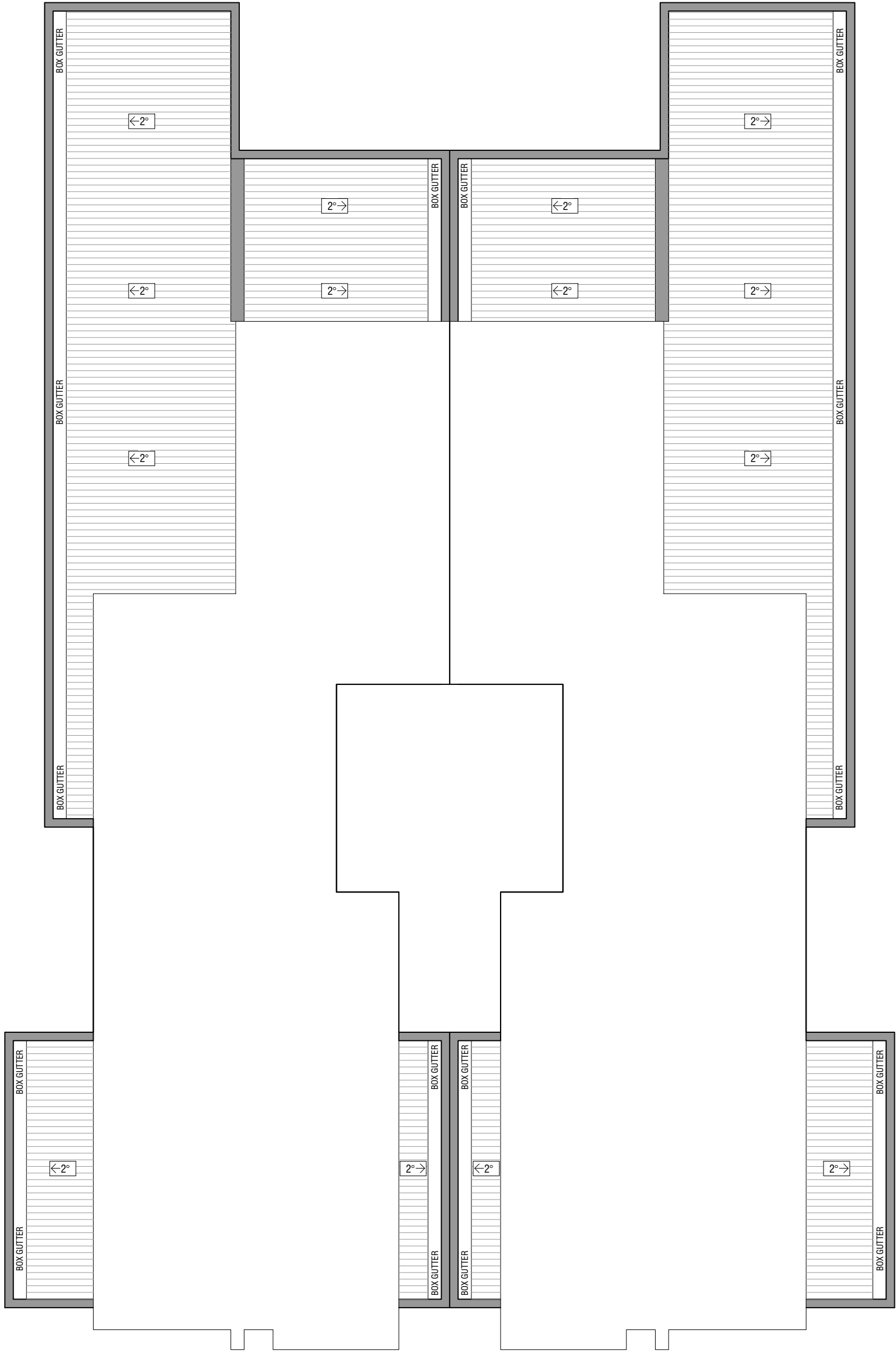
DRAWING No:
07 of 14

ISSUE:
D.

JOB NUMBER:
010-03-16/WD07

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY
OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE
DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©



ROOF PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

FLAT ROOF AT 2° PITCH TO GROUND LEVEL & COLORBOND ROOF TO UPPER @ 18° PITCH WITH 450mm. EAVE OVERHANG. REFER TO ENGINEERING FOR FRAMING, BRACING & STORMWATER LAYOUTS.

REVOLUTION ROOFING O.G GUTTERS (125mm WIDE) & FASCIAS THROUGHOUT UNLESS OTHERWISE SPECIFIED.

THE ROOF STORM WATER BOX GUTTER MUST BE AT LEAST 300MM WIDE AND FITTED WITH A RAINWATER HEAD (SUMP) AND OVERFLOW SPOUT AT THE LOWEST POINTS.

METAL FASCIA TO BE INSTALLED WHERE EAVES ENCROACH WITHIN 450mm OF BOUNDARY.



SKYLIGHT OVER

DPO

90Ø PVC DOWNPIPES AS PER ENGINEERS STORMWATER PLAN.

SDP



90Ø PVC SPLITTER DOWNPIPE AS PER ENGINEERS STORMWATER PLAN.

RH



SELECTED RAIN-HEAD

EAVE NOTES:

ANY EAVES THAT ARE WITHIN 450mm OF A BOUNDARY SHALL INCLUDE:

- 16mm GYPROCK FYRCHEK
- 4.5mm FRC SHEET EXTERNAL LINING
- BACK OF FACIA SHALL BE TIGHTLY PACKED WITH FRL 60 FIRE RATED MINERAL WOOL

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS

ThreeSixFive
DESIGN.STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

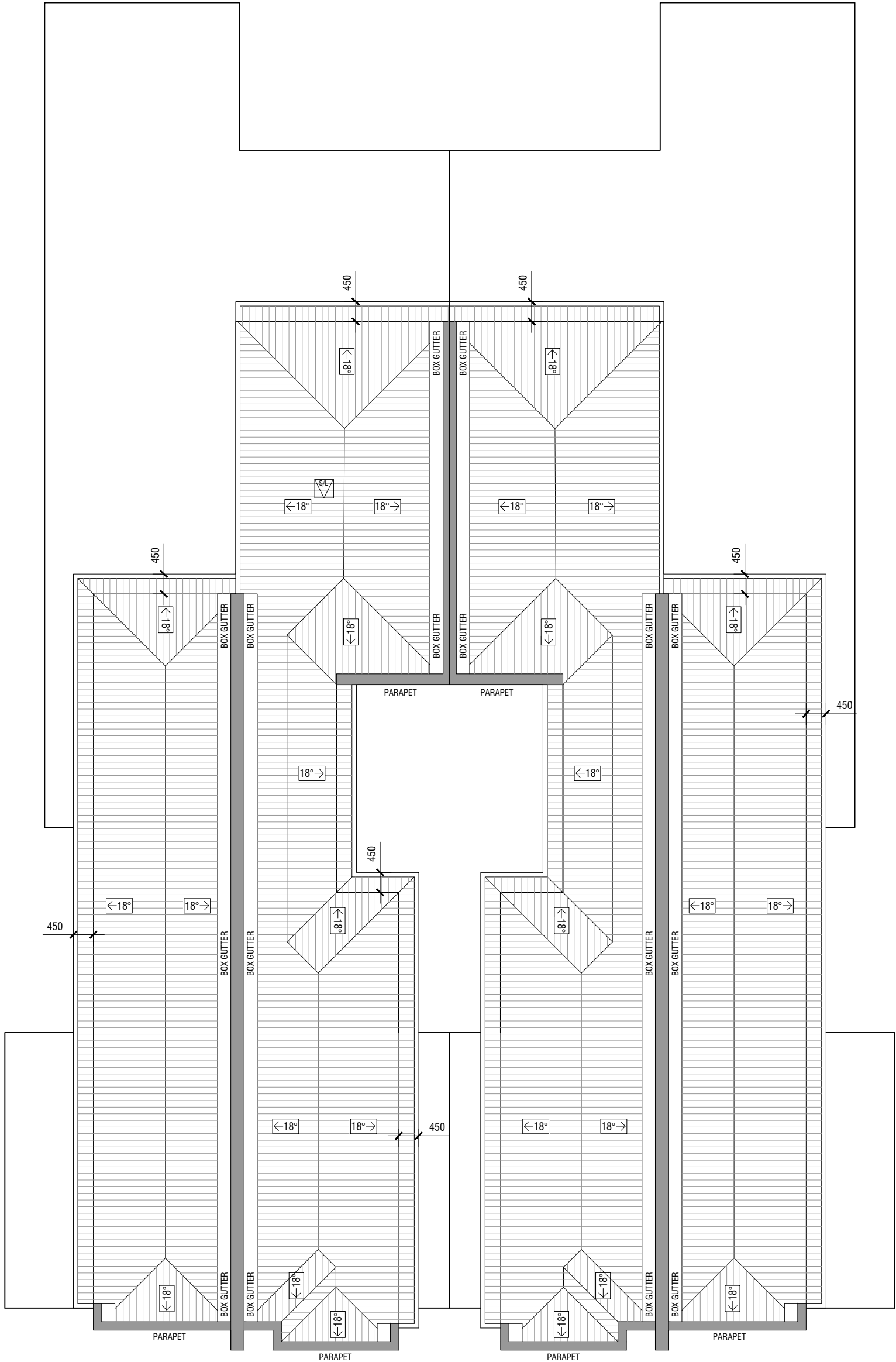
DO NOT SCALE FROM THIS DRAWING

SCALE: 1:100 @ A3	DRAWN BY: RV	DRAWING No: 08 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD08	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©





ROOF PLAN NOTES:

REFER TO WD01 FOR ALL GENERAL/BUILDING NOTES

FLAT ROOF AT 2° PITCH TO GROUND LEVEL & COLORBOND ROOF TO UPPER @ 18° PITCH WITH 450mm. EAVE OVERHANG. REFER TO ENGINEERING FOR FRAMING, BRACING & STORMWATER LAYOUTS.

REVOLUTION ROOFING O.G GUTTERS (125mm WIDE) & FASCIAS THROUGHOUT UNLESS OTHERWISE SPECIFIED.

THE ROOF STORM WATER BOX GUTTER MUST BE AT LEAST 300MM WIDE AND FITTED WITH A RAINWATER HEAD (SUMP) AND OVERFLOW SPOUT AT THE LOWEST POINTS.

METAL FASCIA TO BE INSTALLED WHERE EAVES ENCROACH WITHIN 450mm OF BOUNDARY.



SKYLIGHT OVER

DPO

90Ø PVC DOWNPIPES AS PER ENGINEERS STORMWATER PLAN.

SDP



90Ø PVC SPLITTER DOWNPIPE AS PER ENGINEERS STORMWATER PLAN.

RH



SELECTED RAIN-HEAD

EAVE NOTES:

ANY EAVES THAT ARE WITHIN 450mm OF A BOUNDARY SHALL INCLUDE:

- 16mm GYPROCK FYRCHEK
- 4.5mm FRC SHEET EXTERNAL LINING
- BACK OF FACIA SHALL BE TIGHTLY PACKED WITH FRL 60 FIRE RATED MINERAL WOOL

DWELLING 1 & 4 AREA	SQM
LOWER LIVING	91.20
UPPER LIVING	54.30
GARAGE	24.20
PORCH	1.50
BALCONY	-
ALFRESCO	13.00
TOTAL	184.20
DWELLING 2 & 3 AREA	SQM
LOWER LIVING	73.90
UPPER LIVING	86.10
GARAGE	21.50
PORCH	1.50
BALCONY	-
ALFRESCO	14.40
TOTAL	197.40

WORKING DRAWINGS

ThreeSixFive

DESIGN.STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

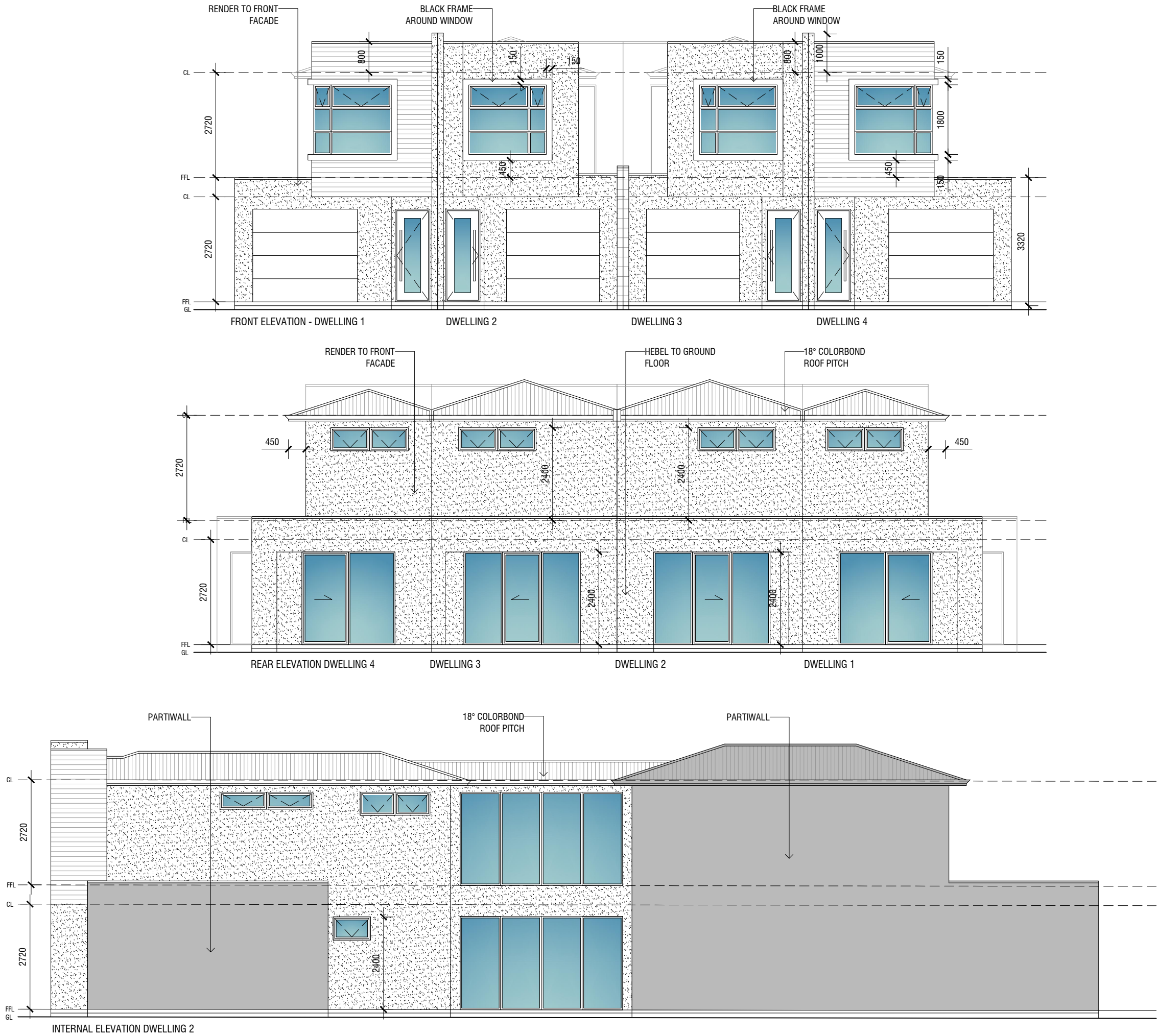
DO NOT SCALE FROM THIS DRAWING

SCALE: 1:100 @ A3	DRAWN BY: RV	DRAWING No: 09 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD09	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO. REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©





WINDOW OPENINGS NOTES:

FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.

TOTAL

ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

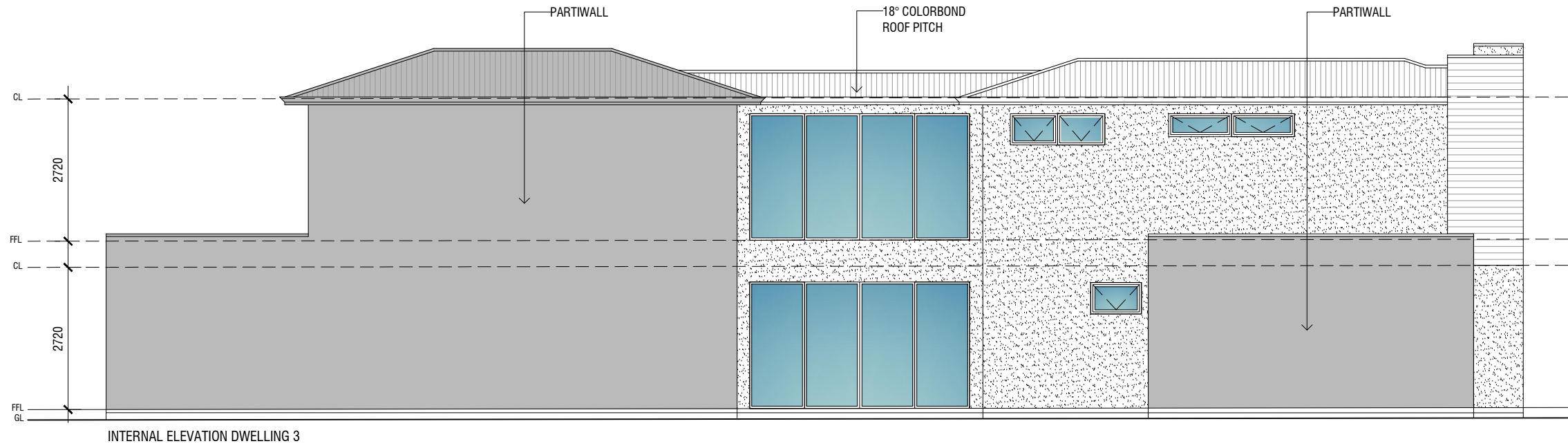
ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE: 1:100 @ A3	DRAWN BY: RV	DRAWING No: 10 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD10	

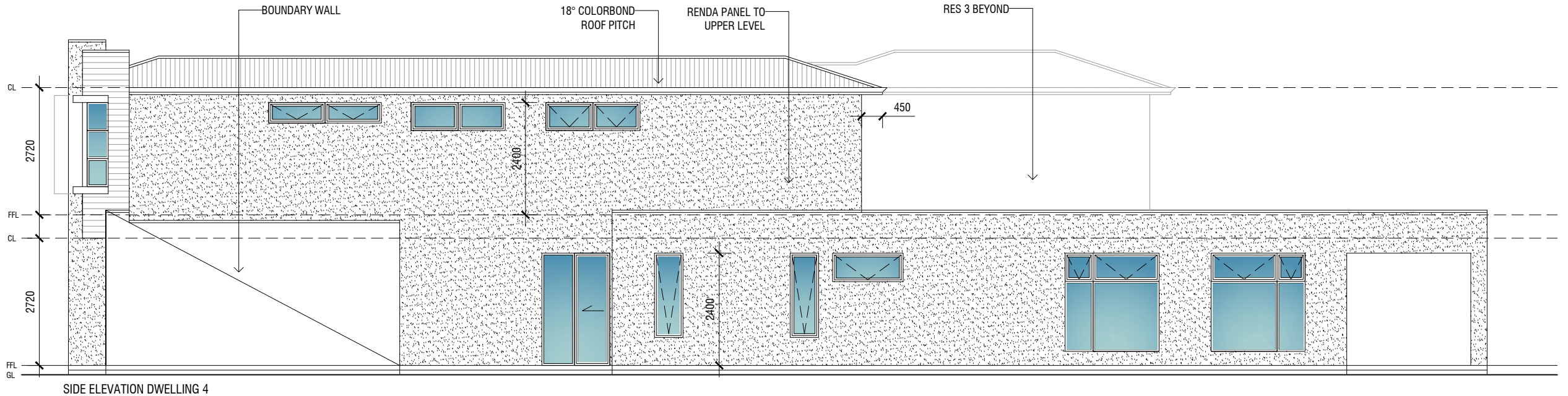
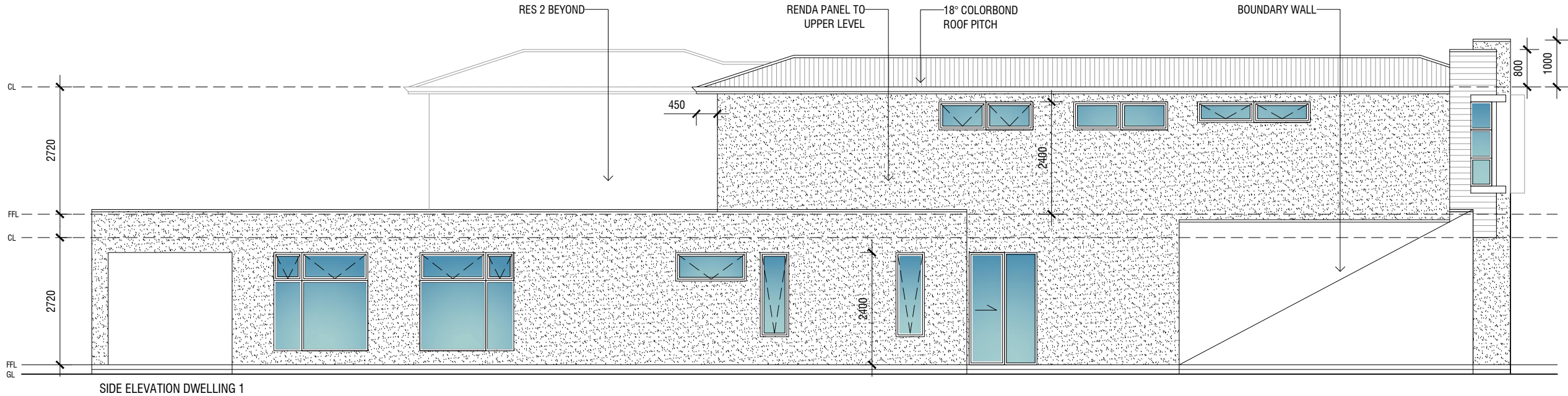
THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
COPYRIGHT ©

WORKING DRAWINGS



WINDOW OPENINGS NOTES:

FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.



WORKING DRAWINGS

ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

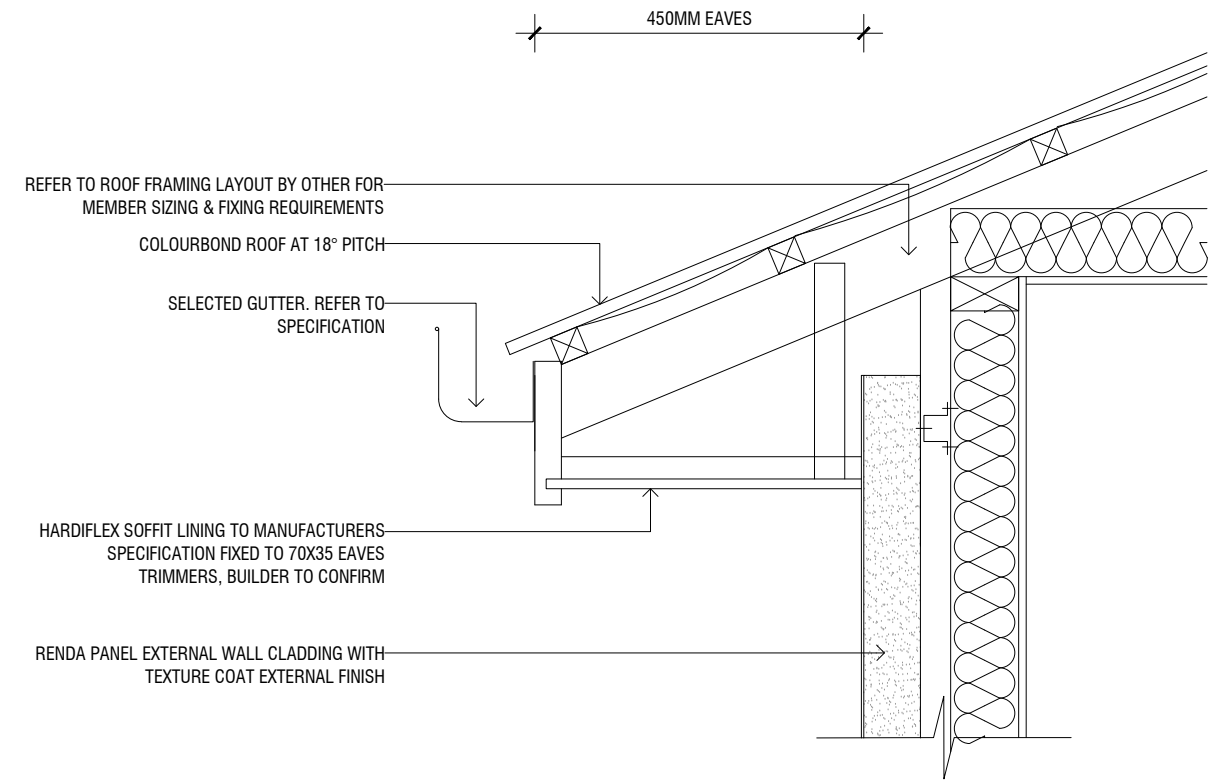
ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

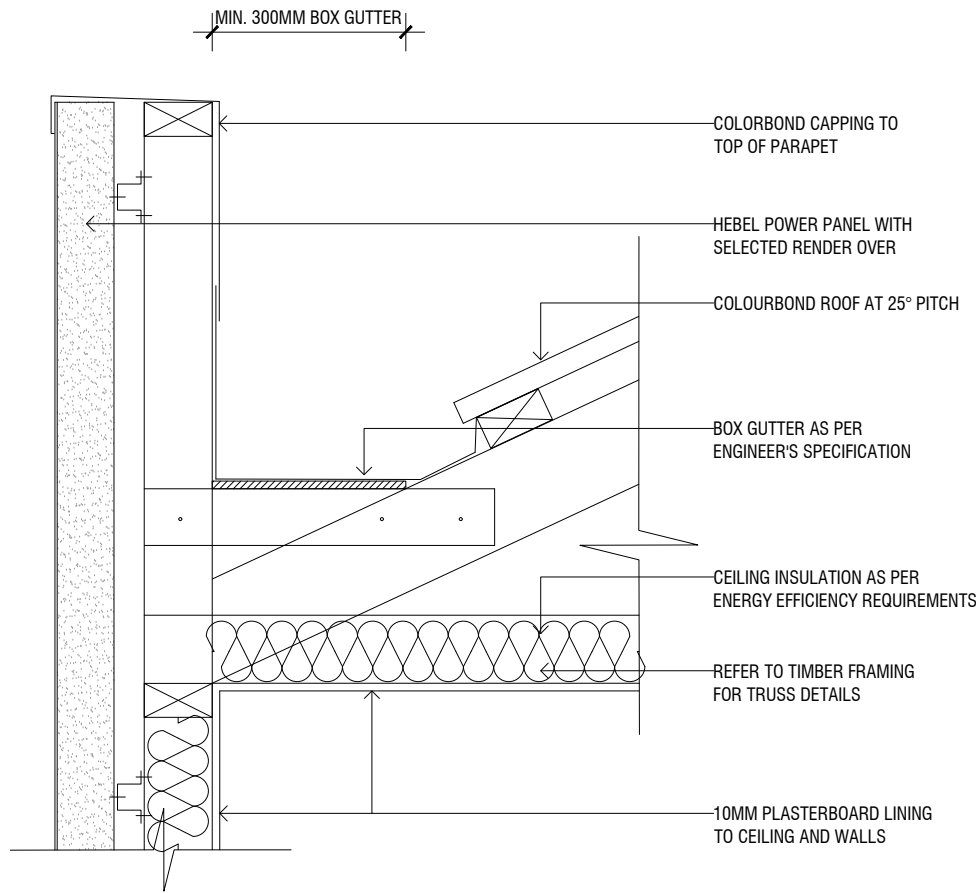
SCALE: 1:100 @ A3	DRAWN BY: RV	DRAWING No: 11 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD11	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

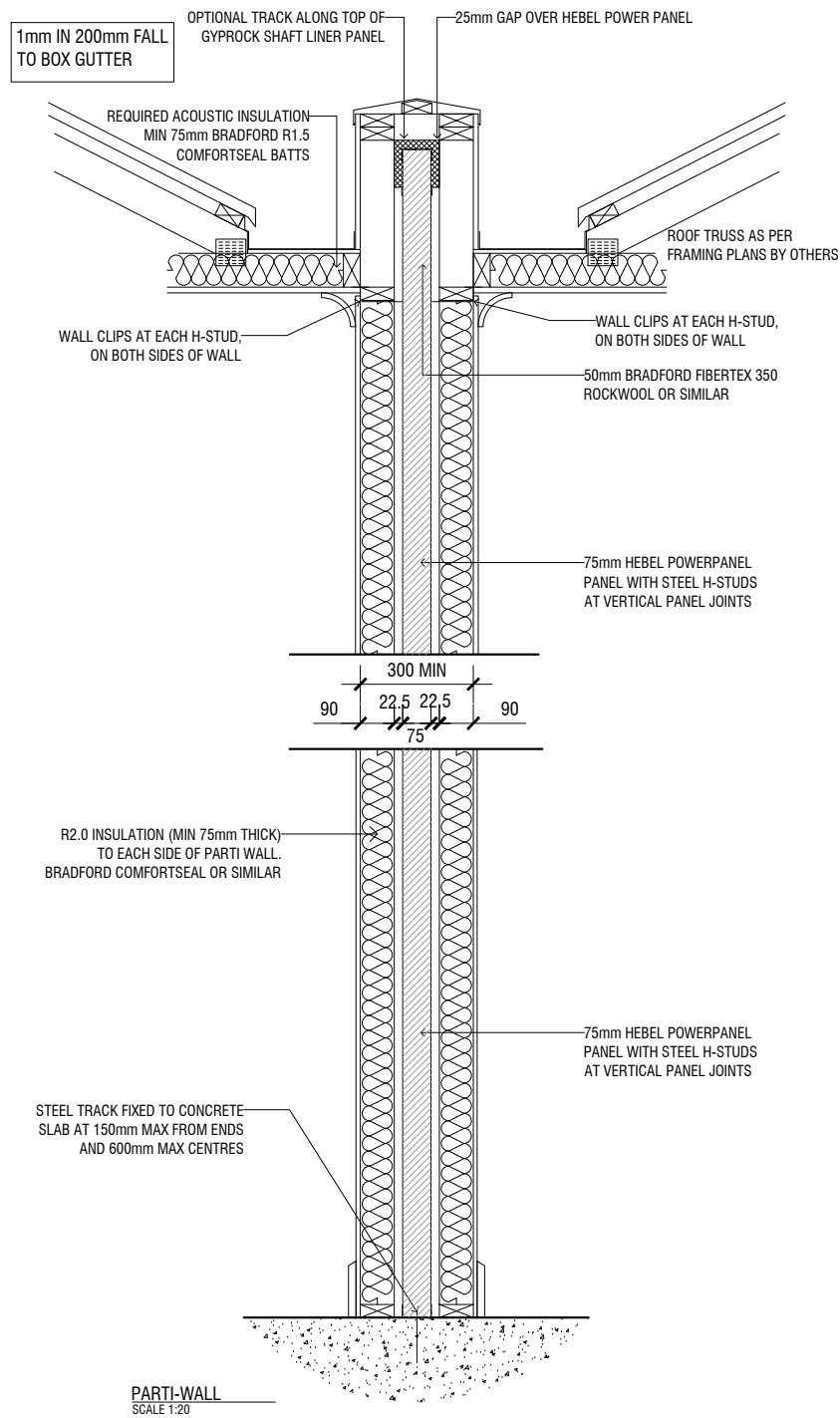
COPYRIGHT ©



TYPICAL EAVES DETAIL - HEBEL PANEL VENEER
SCALE 1:10



TYPICAL PARAPET WALL/BOX GUTTER DETAIL
SCALE 1:10



WORKING DRAWINGS

ThreeSixFive
DESIGN STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

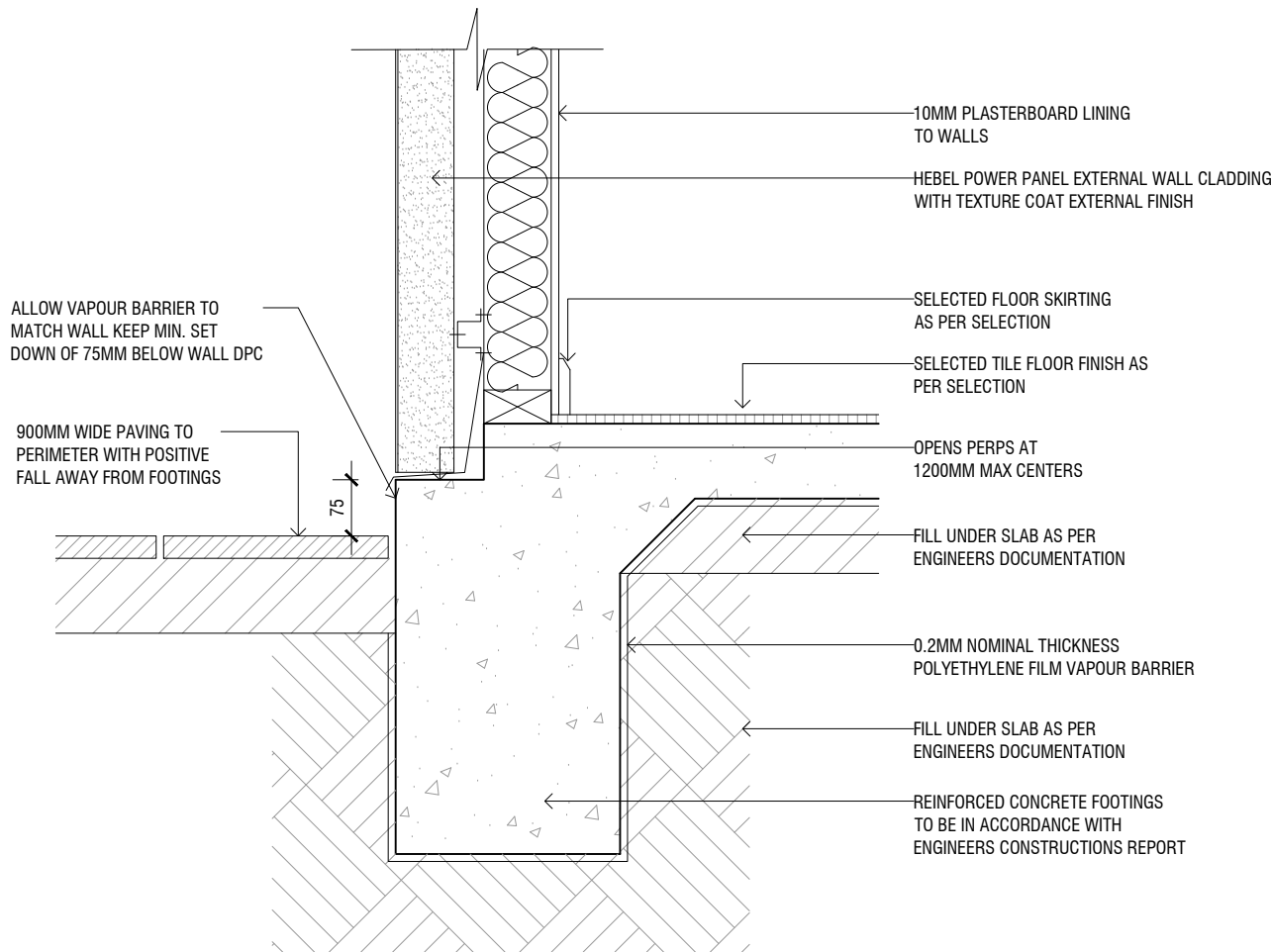
ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE: - @ A3	DRAWN BY: RV	DRAWING No: 12 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD12	

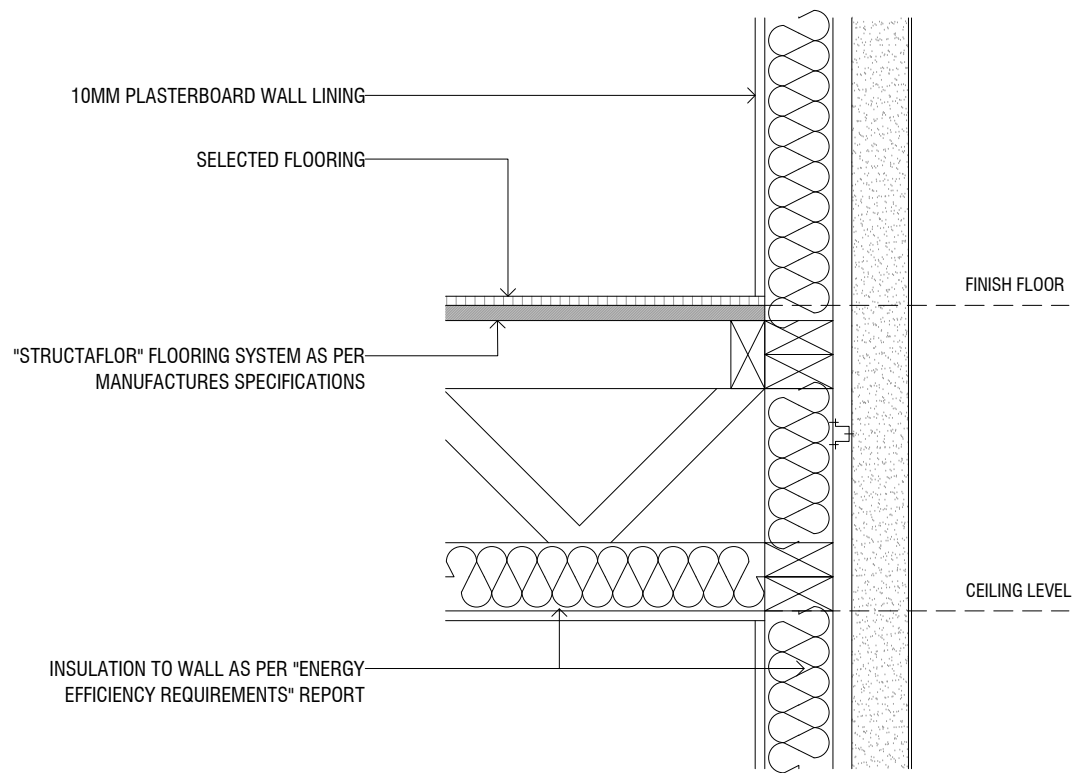
THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

COPYRIGHT ©



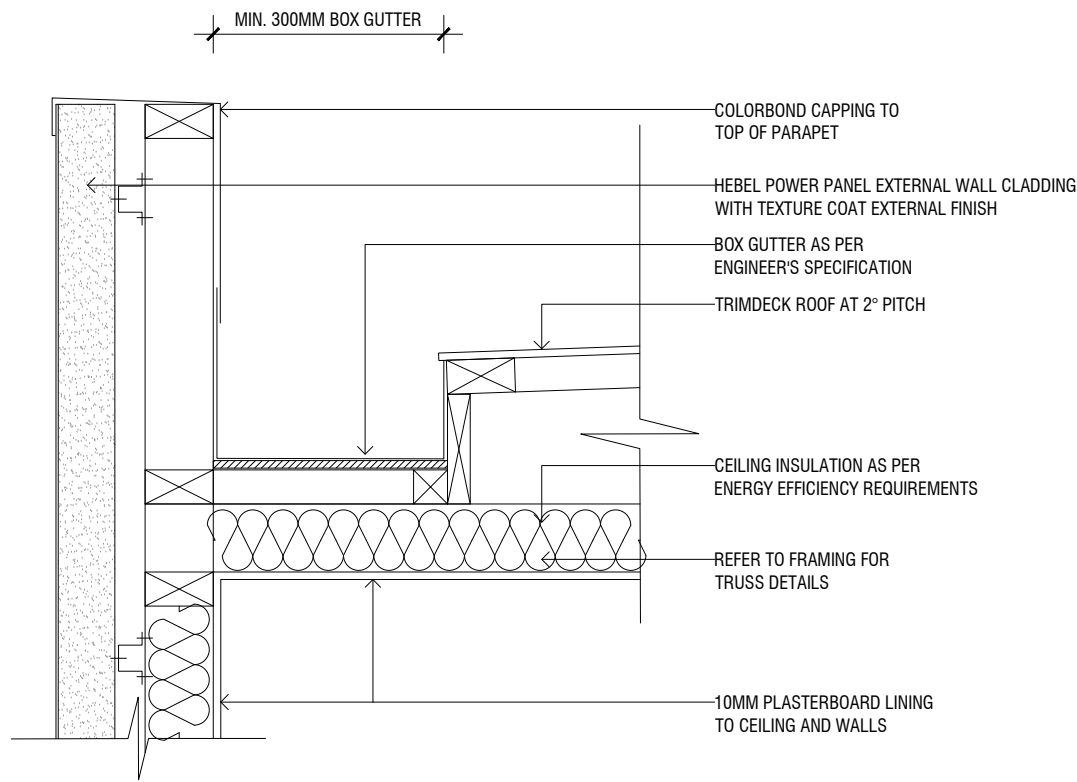
FOOTING DETAIL - HEBEL PANEL VENEER

SCALE 1:10



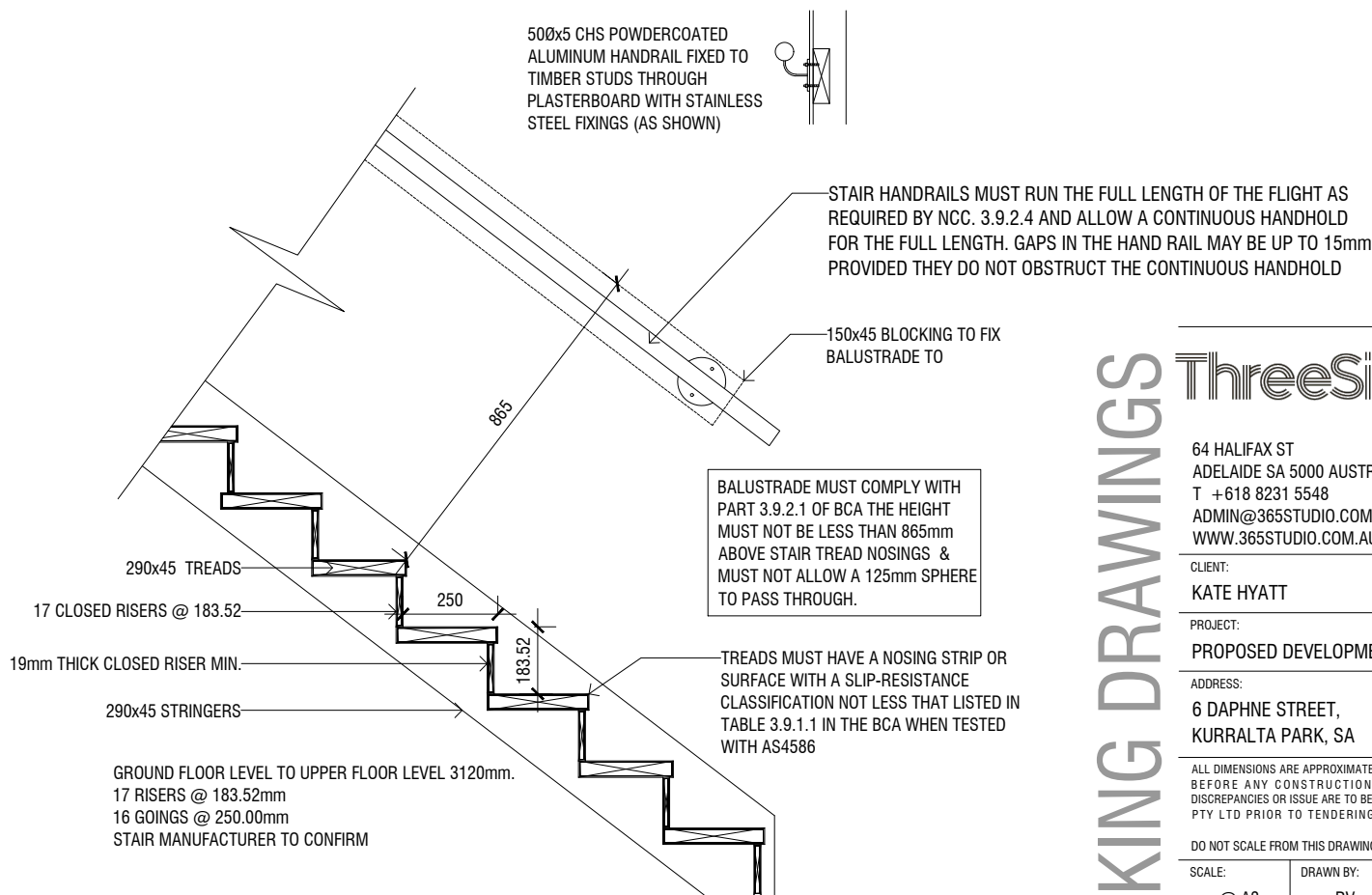
TYPICAL STRUCTAFLO MID FLOOR DETAIL

SCALE 1:10



TYPICAL PARAPET WALL/BOX GUTTER DETAIL

SCALE 1:10



STAIR DETAIL

SCALE 1:20

WORKING DRAWINGS

ThreeSixFive

DESIGN.STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

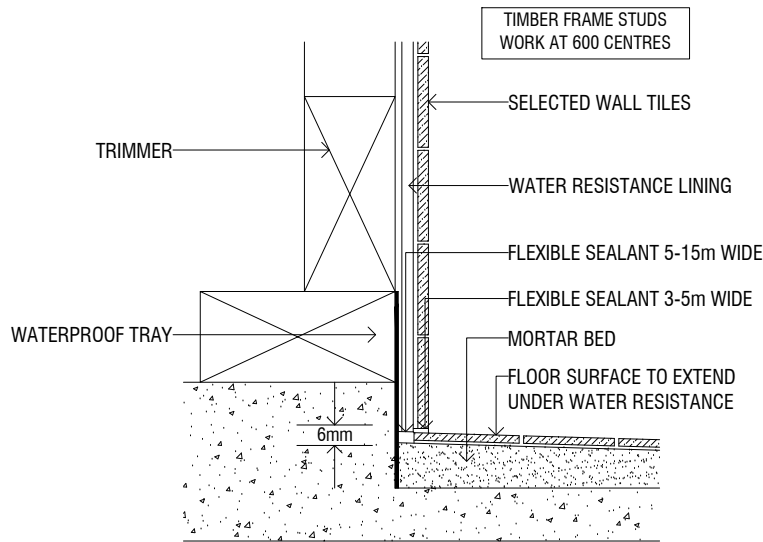
ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED BEFORE ANY CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

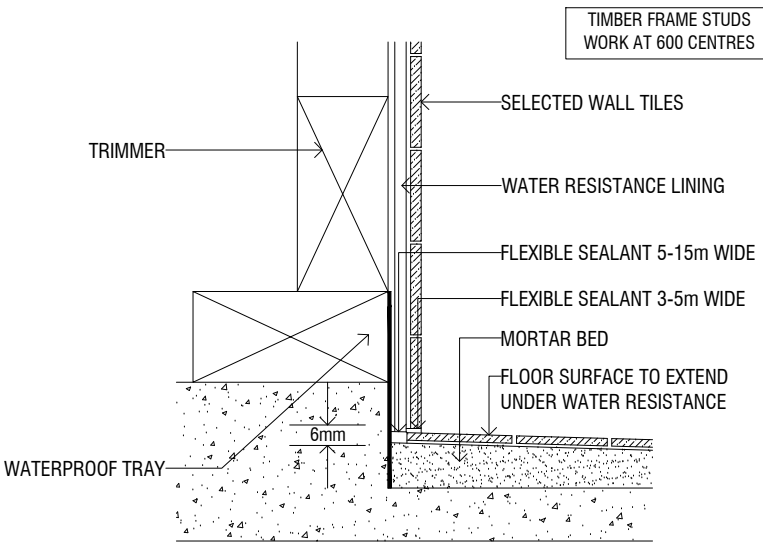
SCALE: - @ A3	DRAWN BY: RV	DRAWING No: 13 of 14
ISSUE: D.	JOB NUMBER: 010-03-16/WD13	

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT

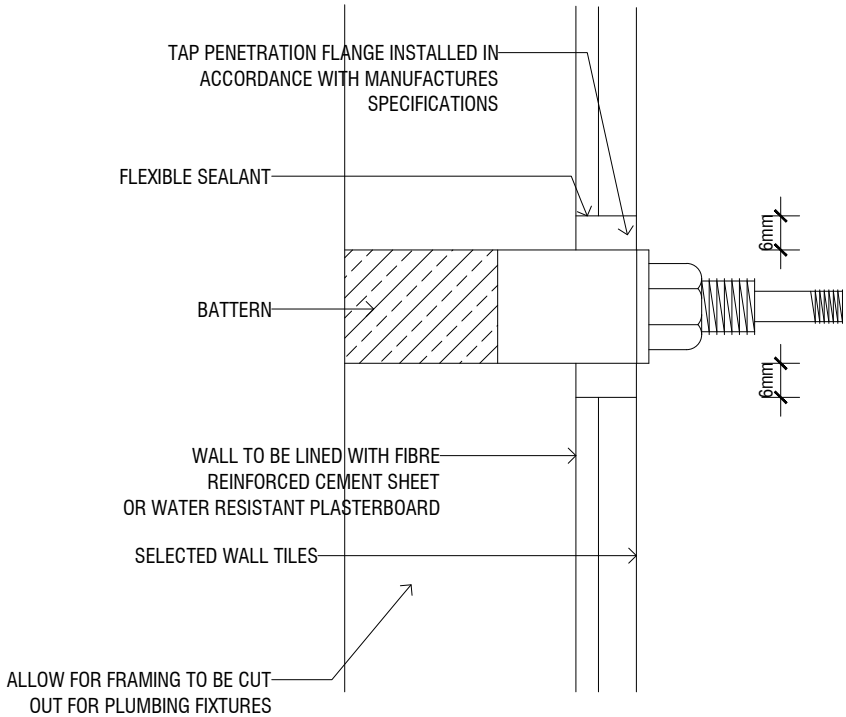
COPYRIGHT



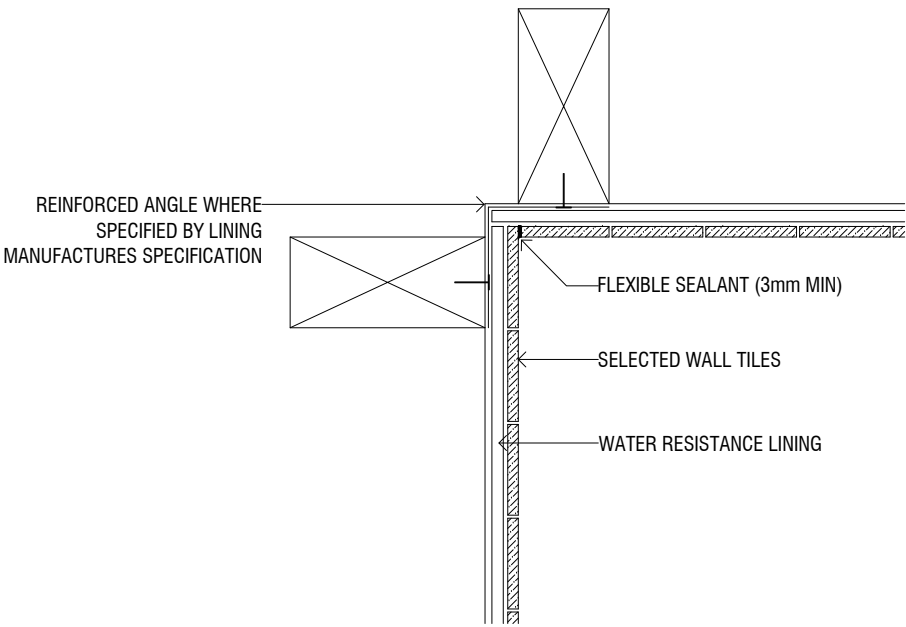
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (EXTERNAL TRAY)



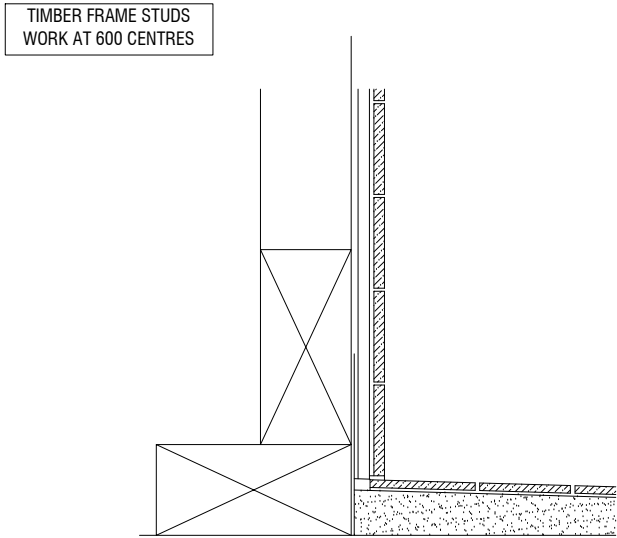
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (INTERNAL TRAY)



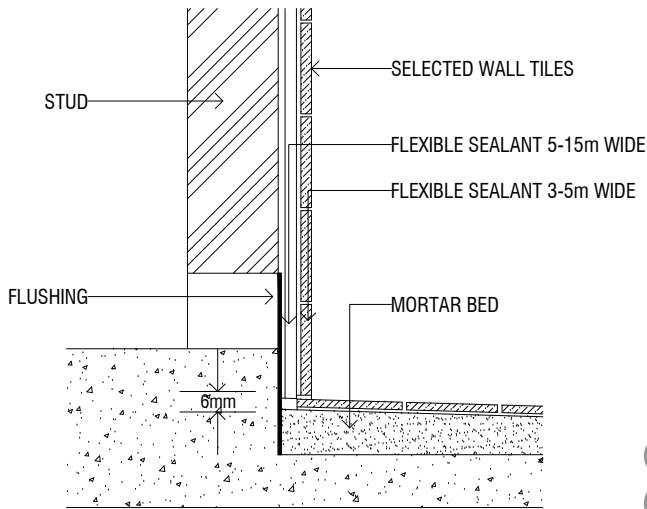
SECTION THROUGH TAP INSTALLATION



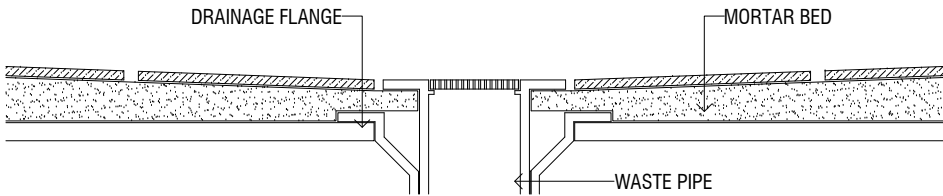
IMPERVIOUS WALL CORNER JUNCTION



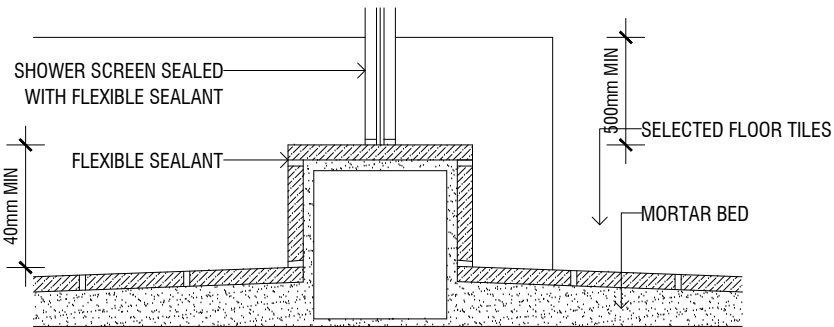
JUNCTION OF IMPERVIOUS WALL & IMPERVIOUS FLOOR -CATEGORY 2



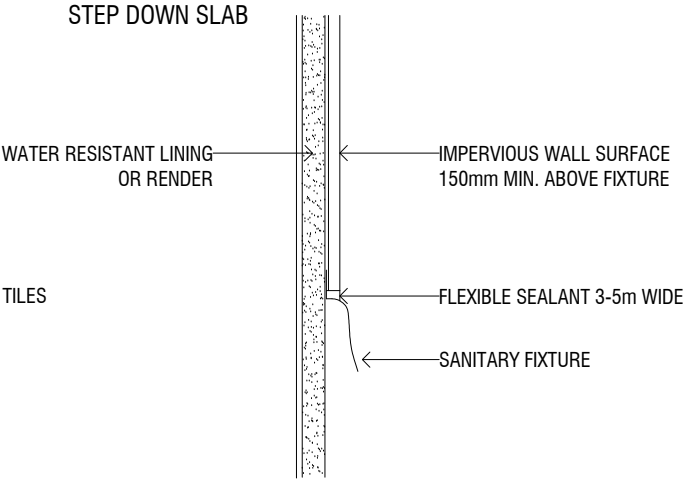
STEP DOWN SLAB



WASTE DETAIL



SHOWER HOB



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL

WORKING DRAWINGS

ThreeSixFive
DESIGN.STUDIO

64 HALIFAX ST
ADELAIDE SA 5000 AUSTRALIA
T +618 8231 5548
ADMIN@365STUDIO.COM.AU
WWW.365STUDIO.COM.AU

CLIENT:
KATE HYATT

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
6 DAPHNE STREET,
KURRALTA PARK, SA

ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CHECKED
BEFORE ANY CONSTRUCTION COMMENCES. ANY
DISCREPANCIES OR ISSUE ARE TO BE NOTIFIED TO 365 STUDIO
PTY LTD PRIOR TO TENDERING OR CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING

SCALE: - @ A3	DRAWN BY: RV	DRAWING No: 14 of 14
------------------	-----------------	-------------------------

ISSUE: D.	JOB NUMBER: 010-03-16/WD14
--------------	-------------------------------

THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY
OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE
DRAWINGS IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT
COPYRIGHT ©